

# TIMBER FRAME OF DISTINCTION



  
donnybrook  
designed to suit your lifestyle

# TIMBER FRAME OF DISTINCTION

nybrook designs

## Welcome to the Donnybrook Designs

This book is a collection of over 40 designs, beautifully illustrated in colour, and gives a wide selection of types.

There are designs for all types of location, from rural to urban, something for everyone.

The aesthetic features of each dwelling are discussed and advice given for the you the reader to consider when embarking upon your own design and self build project.

# Charingsworth

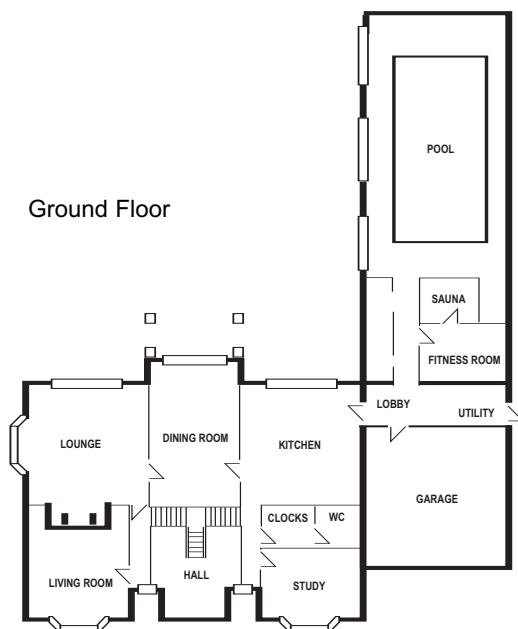


**The front cover features a stunning property, designed and built by the occupant. Land in this area can be obtained at a reasonable price so that affords the opportunity to achieve a lot more building for your money. Additional luxuries such as a swimming pool sun room and spacious garden can be included.**

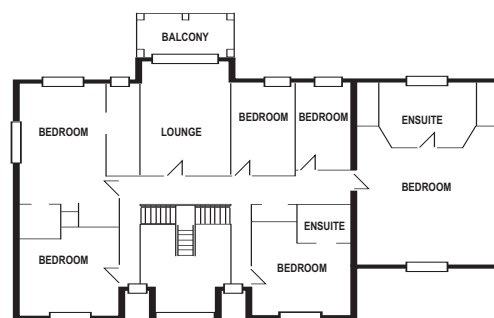
The dwelling has a very detailed yet symmetrical front elevation, the main feature of which is the glazed central section which continues through the dwelling to the rear. It incorporates an open plan staircase with spacious gallery landing which also provides a relaxing seating area affording panoramic

views from this elevated position. Rooms are of generous proportions, which one would expect from a property of this grandeur. The use of bay windows add features to the rooms while improving the view and breaking up large otherwise plain side elevations.

This property oozes opulence, yet isn't complicated to build. The use of a brick plinth gives the impression of a solid base especially when combined with stonework detailing around the windows and corners. These details could be used on smaller properties as a grand effect is not always about the size but more to do with the detailing of the building.



First Floor



Frontage: 22.83 metres (75ft)



# Charingsworth



# Baglan

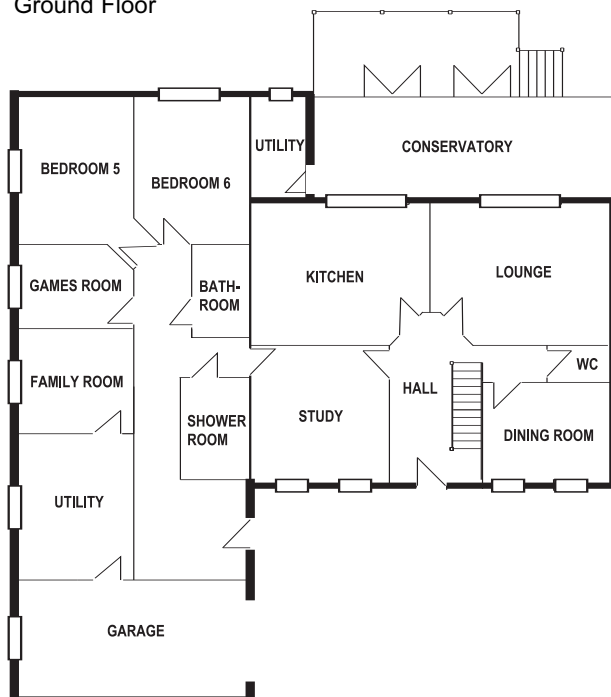


**A central front door with a symmetrical balance of windows either side with strong vertical proportions. The introduction of stonework around the windows and the quoins along with render finish is consistent with the style which is timeless if done well.**

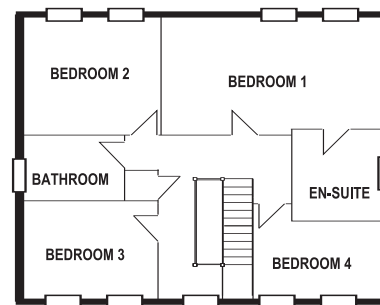
The inclusion of the self contained Granny Flat to the side as a single storey structure allows a courtyard effect to be achieved without distracting from the impact of the main house.

The house has a south facing rear aspect, consequently the lounge and kitchen are located here to gain the most sunlight. In this instance a conservatory has been constructed to bridge these rooms which provides a bright spacious feel to this area allowing it to be enjoyed throughout the year.

Ground Floor



First Floor



Frontage: 17.90 metres (58ft 9ins)



# Baglan



# Tintern



**The builder, is also featured later in this book as the developers of The Shire. This dwelling exemplifies their theme of 'Homes of Distinction' using reclaimed materials. In this instance, an old schoolhouse was demolished to make way for a small development of very picturesque village.**

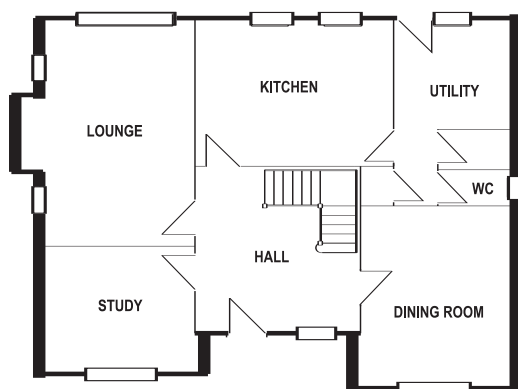
Stonework and reclaimed brickwork are used for the external walls with a nominal amount of render to the front cantilevered section. Masonry products are often difficult to detail when used on a cantilever and historically they wouldn't have been used in this context. Re-claimed roof tiles allow the dwelling to look as if it has been there for a long time

especially when viewed from a distance and blends into the tapestry of the village.

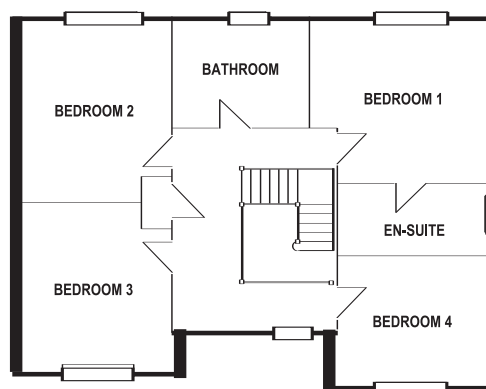
The porch is a strong feature constructed from oak using traditional detailing not modern machine methods, so the approach to the front door feels like visiting an historic building. It is no wonder this site won a design award.

Internally, a spacious hall gives a simple circulation pattern not only to the ground floor rooms but also to the 4 bedrooms, where additional lighting to the landing is achieved by the introduction of a rooflight. The position of this rooflight allows sunlight to flood down through the stairwell to the ground floor.

Ground Floor



First Floor



Frontage: 12.00 metres (39ft 5ins)



# Tintern





# Cardigan



**This sloping site has a mountain as a backdrop. The dwelling is orientated across the contours and has a wide frontage which is economic in these circumstances as it reduces the excavation into the gradient. The drive rises up to the plateau which was created for the dwelling, formed by excavating from the rear and filling at the front behind retaining walls.**

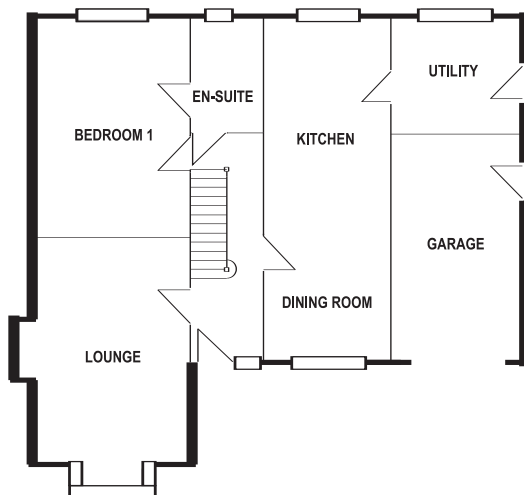
Dormer bungalows can often be filled with character and this is no exception. Designed as a retirement property, the intention was to

utilise the roofspace to maintain the future valuation as the additional bedrooms provided in this spacious upper floor would assist investment and re-sale potential.

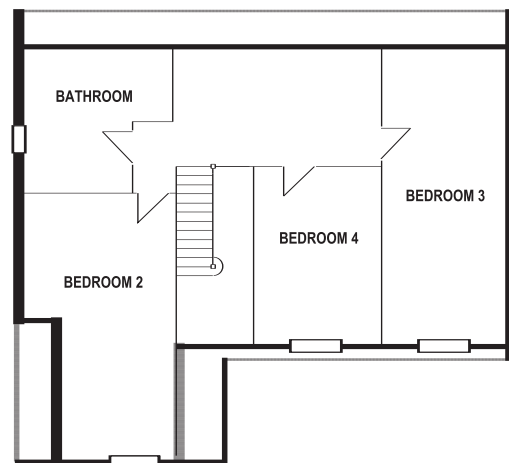
The roof is a dominant feature and has been used to provide overhangs at the front to give shelter to this exposed facade of the building. A feature porch with supporting pillar gives dominance to the entrance.

Internally the layout can be used as a 1 bedroom bungalow to the ground floor with overspill into the loft adding a further 3 bedrooms and bathroom.

Ground Floor



First Floor



Frontage: 12.36 metres (40ft 7ins)

# Cardigan





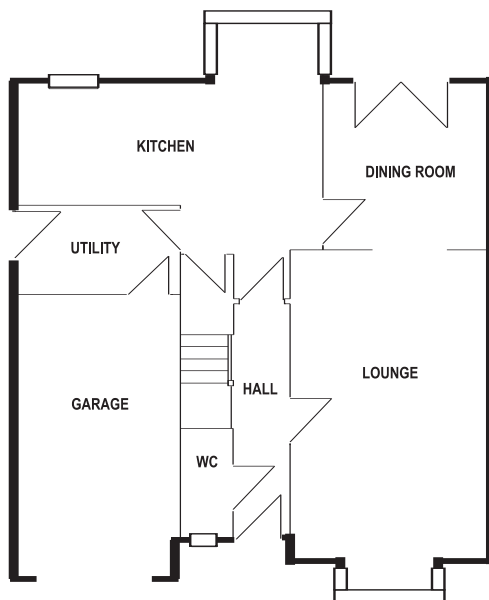
# Monmouth



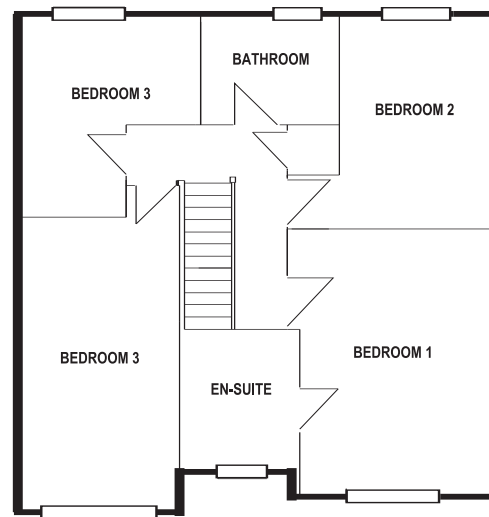
The Tudor style is always a popular classic with self-builders, but not always suitable for all locations. In this instance however, the plot is on a site of such properties so the challenge was to design a house that would blend in with its neighbours yet have it's own identity. The front has some charming colourful features with the bay window and recessed entrance. The re-claimed brick adds to the Old World feel of the external treatment.

The inclusion of the garage within the shell of the building makes this a very compact design ideal for a limited frontage plot. One of the most striking features at the rear is the bay window off the kitchen, which makes a perfect seating area to enjoy a meal overlooking the garden.

Ground Floor



First Floor



Frontage: 9.20 metres (30ft 3ins)

# Monmouth





# Caerphilly

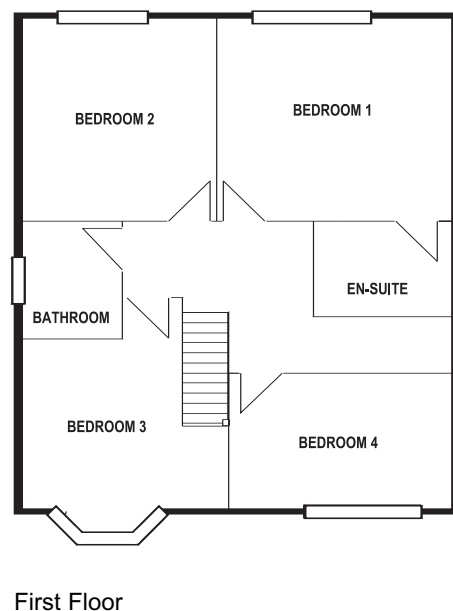
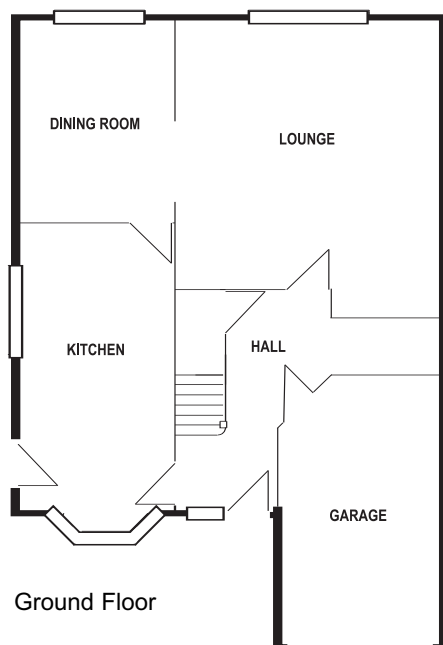


**An extremely narrow building plot hasn't inhibited the accommodation achieved in this property. The fact that the site is flat allows the maximum potential to be extracted from the width.**

The garage could only be located within the main body of the building, which removes the potential for an extra room such as a study. However in this instance Bedroom 4 was left open plan to the landing and an external patio created on the garage roof. This has given the property an additional external

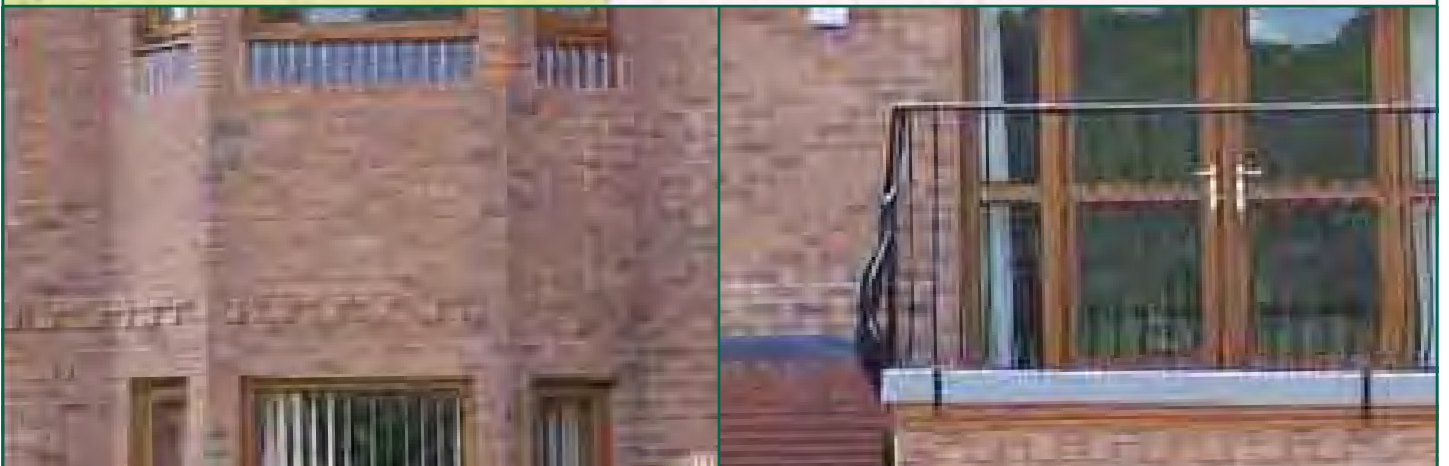
aspect to take advantage of both views and sunshine from either side of the property.

Circulation internally is efficient to maximise space within the rooms. The dwelling has a 3 / 4 bedroom potential depending on the usage of bedroom 4, with all rooms of generous proportions. Internally a small dining area set within a bay window at the front of the kitchen gives an alternative aspect, whilst the lounge and dining rooms look to the rear.



Frontage: 8.76 metres (28ft 9ins)

**Caerphilly**





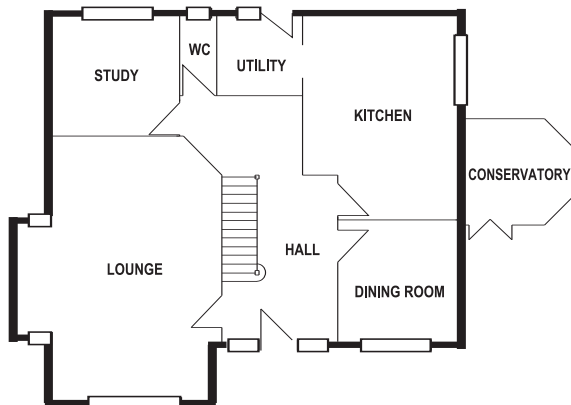
# donnybrook Coleford



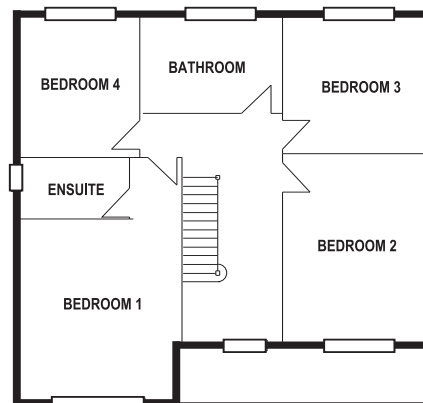
The finished article doesn't reflect the considerable amount of work that the developer did to transform this site from the wasteland it was to the attractive property it is now. The retaining walls give some indication of the falls that originally existed, but the use of these, albeit costly, had reclaimed some invaluable land. The use of re-claimed brick and ironwork railings adds character to what could have been a boring functional construction.

The interior is well worked with the lounge getting a front aspect for view and daylight, while the kitchen, although at the rear does have the benefit of a conservatory sitting area to the side which also allows the view to be enjoyed. The conservatory leads onto a side garden which has only been formed by encasing a stream in pipework and building over it.

Ground Floor



First Floor



Frontage: 10.80 metres (34ft 6ins)

# Coleford





# Kendall



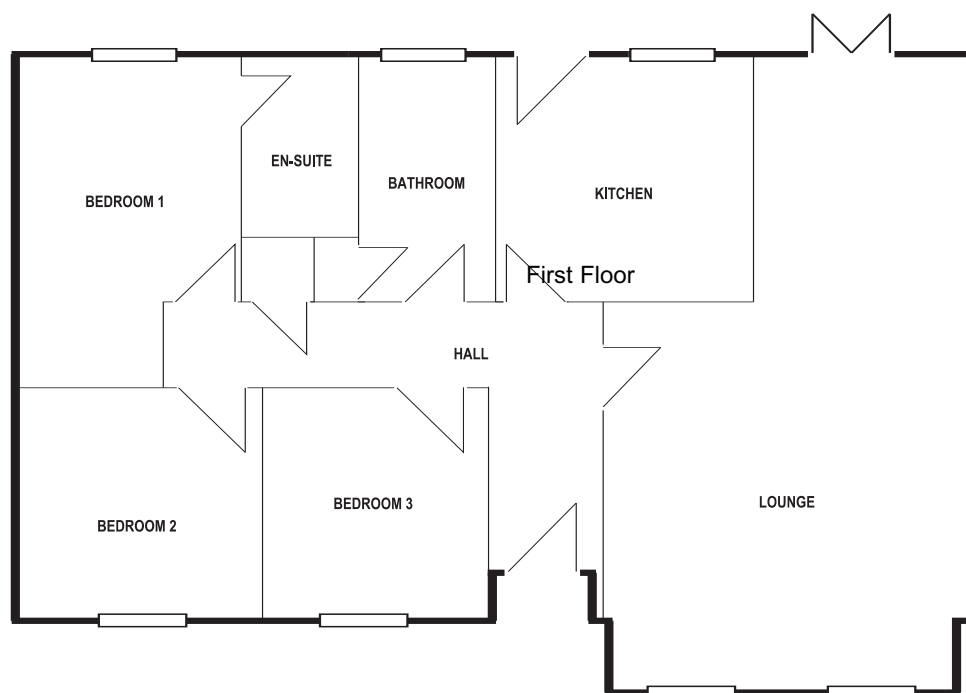
**Building in a National Park can be a challenge as there are often strict aesthetic controls imposed by the Planning Authority. Any new building is often required to use detailing and finishes that are common to the area. In this case the developer, Bluewater Homes, a company with a reputation for quality achieved just that.**

The slate roof and random stonework, simply done, with fascias and bargeboard

overhangs cut to a minimum are typical of Welsh rural properties. Other bungalows within this development have a render finish which is also a common local treatment.

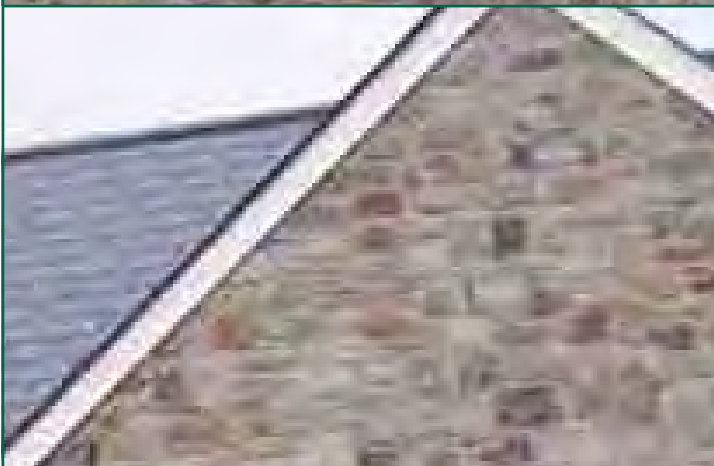
Internally however the building meets a modern requirement of generous lounge dining room and kitchen. The 3 bedrooms are placed away from the entrance for added privacy with en-suite to the master bedroom.

This example shows how character can be built into the modern property.



Frontage: 13.55 metres (44ft 6ins)

**Kendall**





# Shrewsbury

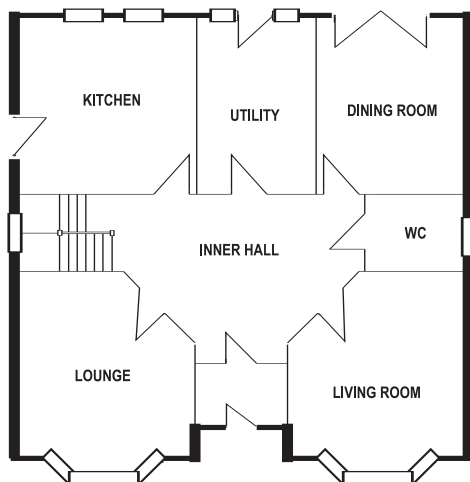


**A spacious family home at the larger end of Welsh rural properties but equally at home in an urban environment usually occupied by the wealthier in society. It is typical of Welsh rural Architecture in its simplicity of design and symmetry of front elevation. The use of stonework, slate roof covering and white finished windows with a vertical emphasis continue the theme. Bay windows afford panoramic views from the rooms if located in an elevated position.**

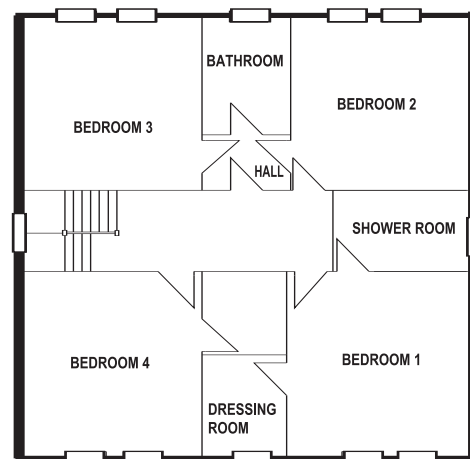
The sun-room using matching materials allows it to blend into the overall design, yet from a practical point of view allows this room to be enjoyed throughout the year.

The property has a straightforward rectangular plan which makes it economical to build. It illustrates that simplicity need not be boring, good design is more about proportion and colour choice, not complexity for the sake of it. The garage can be located either side depending on personal preference.

Ground Floor



First Floor



Frontage: 12.00 metres (39ft 4ins)

# Shrewsbury





# donnybrook Newbridge

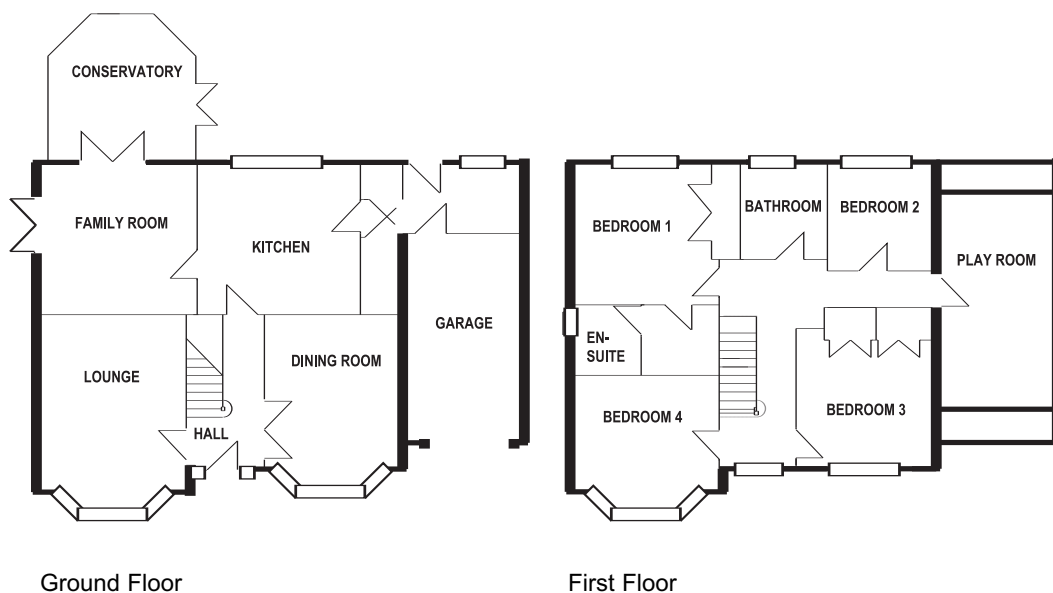


**The frontage of this property uses the traditional bay window to good effect. It is continued from the ground through to the first floor and contained within the cantilevered roof. This provides an interesting feature to the front, especially when finished in tile hanging. This property has a very traditional feel.**

Internally the bay windows provide an extension to the room and a viewing area to take in the landscape. Accommodation is spacious and the family room to the rear,

which is the day to day sitting room, leads nicely into the conservatory which is south facing in this case.

There are 4 good bedrooms and the master bedroom can be interchanged between front or rear depending on the site conditions as the en-suite is centrally located. In this instance an additional stair was located above that shown and access provided to the loft area which was converted to an extra room.



Frontage: 13.35 metres (43ft 10ins)

# Newbridge





# Usk



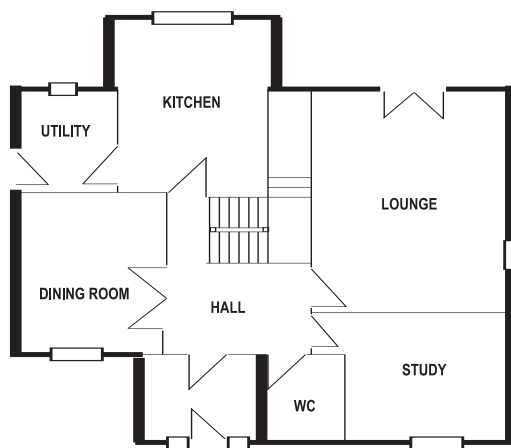
The interesting challenge with this dwelling was that the foundation had previously been installed, consequently any design had to use this existing footprint. A further constraint was a requirement that any building had to be elevated above the ground due to the close proximity of a river and its associated flood plain.

The building is located in a central position of 3 houses which form a 'U' shape therefore it is the more prominent as you enter the site.

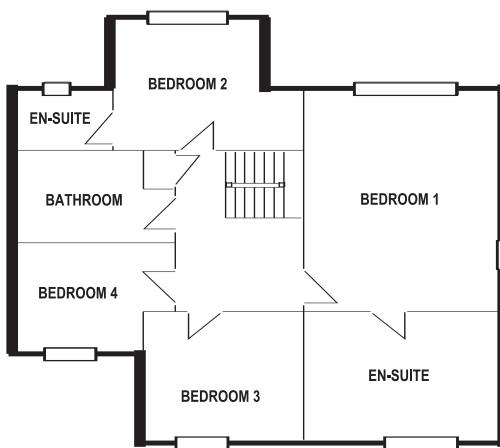
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Ground Floor



First Floor



Frontage: 11.76 metres (38ft 8ins)

Usk





# Severn



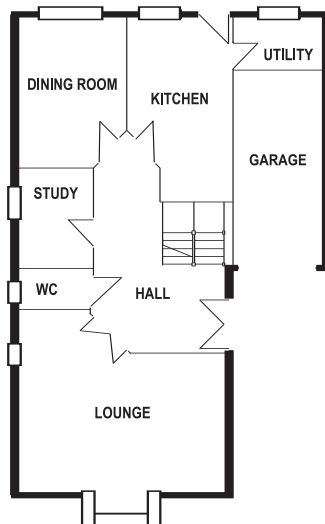
**A narrow building plot leaves limited area to make an impact with a design and this was certainly the case with this dwelling. The developer had strong ideas of the features he wanted included in his property having been inspired by a site of Tudor style houses with cantilevered first floor, feature boarding and dormer windows partially set into the roof.**

The positioning of the front door to the side of the dwelling leaves more room at the front to introduce a feature and in this case the cantilevered

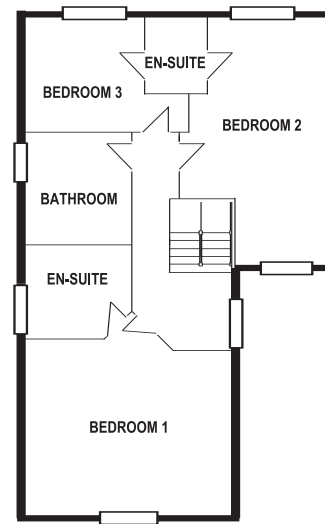
first floor with the bay window below certainly achieves that. The driveway naturally leads you to the front door where the detailing doesn't make it feel like an afterthought.

Although built as a 3 bedroom property, it has a potential for 4 bedrooms probably at the expense of the rear additional en-suite. Layout with a narrow frontage can have limitations, as there are usually only the front and rear elevations to achieve windows for the dominant rooms. The use of an 'L' shaped property helps to provide additional external wall space to accommodate extra windows

Ground Floor



First Floor



Frontage: 9.35 metres (30ft 8ins)

**Severn**





# Windsor



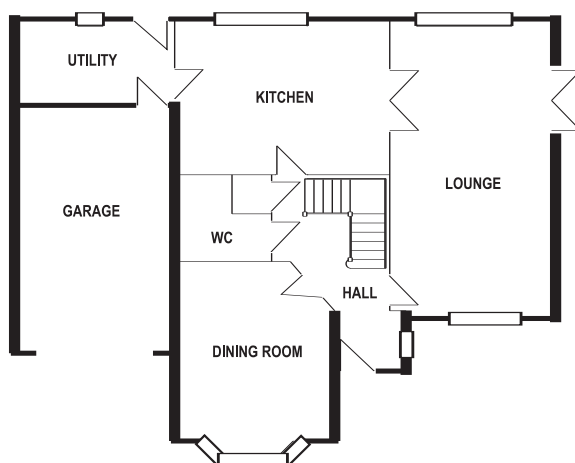
**The urban individual building plot is usually limited on width and there is often the need to gain the maximum out of the limited space, yet achieve a home full of aesthetic character. In this instance the clients particularly liked the layout of an adjoining building, but wanted their individuality to the outside.**

The outside is a mixture of slate, required by Planning due to its prominent location on the hillside, and facing brick. The introduction of tile hanging to the front gable adds an

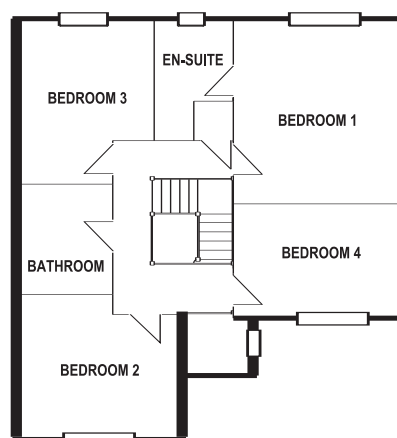
appealing feature as it has the potential for variations such as contrasting band courses in different colours or styles, in this instance a curved tile.

The room designations of lounge, kitchen, dining can be interchanged depending on the individual site requirements and still work well. The 4 bedroom layout is efficient around the gallerized landing which has a nice feature of the front dormer window providing natural light.

Ground Floor



First Floor



Frontage: 13.70 metres (45ft)

# Windsor





# Wayloed



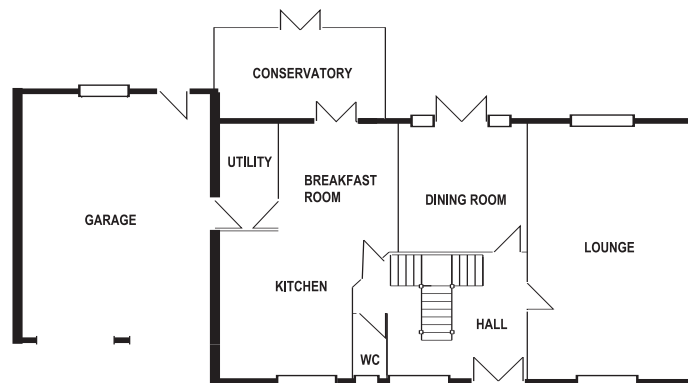
**The setting for this dwelling demanded a cottage style property with a low roof line. The slope of the ground at the rear combined with established trees, necessitated a wide frontage, nevertheless a substantial property was achieved.**

The mixture of brickwork and render between ground and first floor gives a strong horizontal emphasis which accentuates the feeling of a wide low building. There are some character features namely the dormer

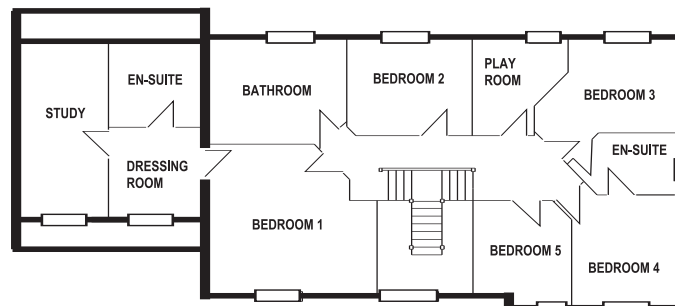
windows, tall feature window to the hallway and cantilevered front right gable. The mass of the front is reduced by using an attic type roof over the garage which provides additional en-suite and dressing accommodation for the Master Bedroom.

The accommodation is generous, the lounge incorporating an inglenook fireplace, and the kitchen / breakfast area being slightly offset to each other gives a farmhouse feel which is ideal for informal meals and family gatherings. The bedrooms are of a size one would expect from a property of this size.

Ground Floor



First Floor



Frontage: 19.75 metres (64ft 10ins)

**Wayloed**





# Shire



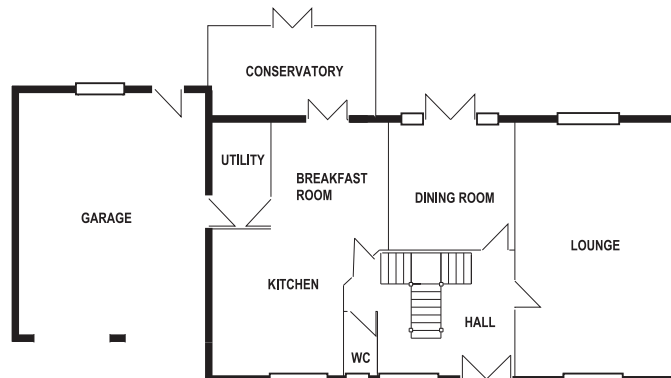
**The developer is a client that specialises in the construction of 'Homes of Distinction' using reclaimed materials common to the area to give the feel of a house that has been around for a long time. They defy the often heard criticism that new houses 'have no character'**

The property has character in abundance with a good mix of random stonework, re-claimed brickwork and small plain tiles. The vertical feature

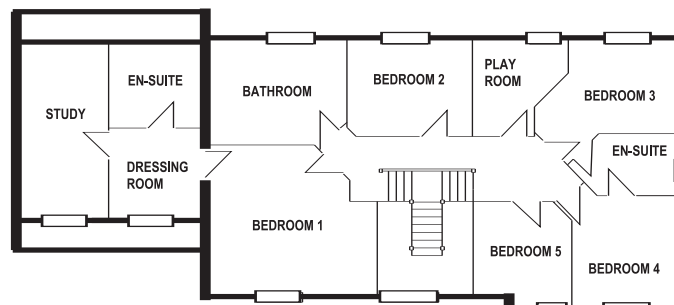
window houses the stairwell and combined with a gallerized landing gives a strong vertical emphasis in the hall and landing area. This makes the building feel even more grand while affording good views from the first floor.

It is a deceptively simple building to construct as the main body of the house is effectively a rectangle. This provides 5 good size bedrooms with a luxurious dressing and en-suite area over the garage. Additional potential accommodation can be provided in the substantial roof area.

Ground Floor



First Floor



Frontage: 20.63 metres (67ft 9ins)

**Shire**





# Abergavenny

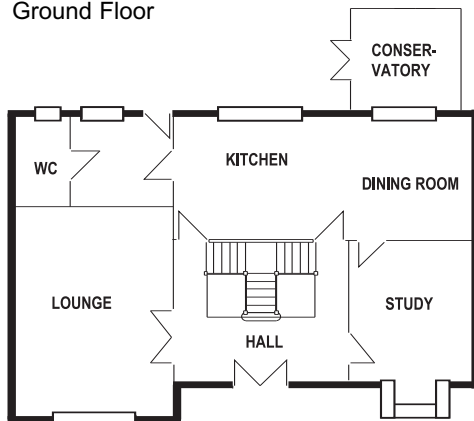


**This site is at the head of a cul-de-sac in a prominent, elevated position. This combined with their requirement for a large family dwelling gave the opportunity to design a building with some classical features.**

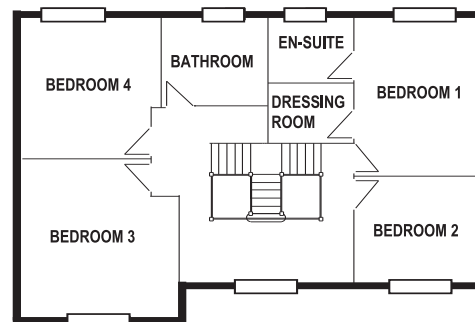
A gable in this situation emphasises the height of the building especially if brought to the most prominent front position. The effect would have been lost if located to the other side. They also have more emphasis if they are steeper preferably over 40 degrees and the same principle also applies to the small gable roofs over the windows. The use of stonework provides a traditional feel which works well in a modern setting with the right brick choice.

Although the building provides 4 double bedrooms and spacious hall and landing, additional accommodation has been provided in the roofspace by the use of attic trusses. This is an economic way of achieving up to 30% increase in floor area at relatively little extra cost. Especially useful on plots of limited area or where there is a need to reduce foundation costs.

Ground Floor



First Floor



Frontage: 13.78 metres (45ft 3ins)

# Abergavenny





# Radford



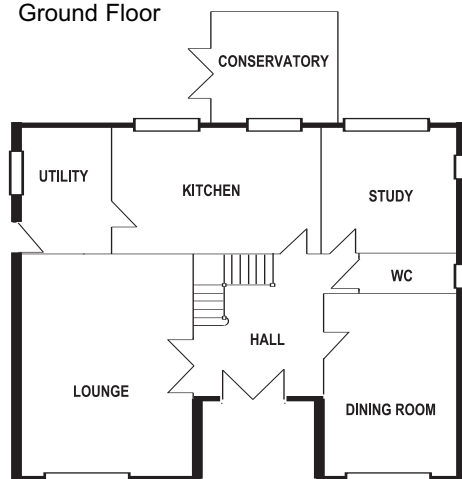
**The generous plot frontage and location at the head of a cul-de-sac allowed the opportunity to provide a courtyard effect with a detached garage. There is the feeling of approaching something exclusive when arriving at the property.**

Two gables dominate the front allowing a balcony to span between them providing an attractive viewing area off the gallerized landing to the first floor.

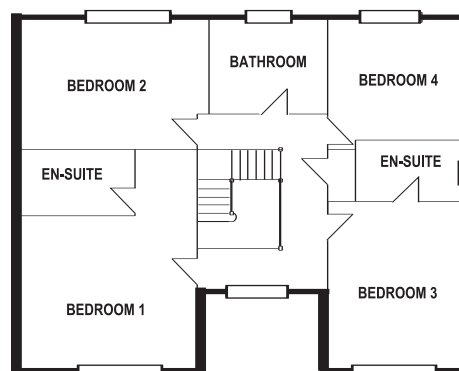
The gables are not equal in width but the property loses nothing because of this. Contrasting brickwork quoins add interesting detail to the frontage.

The double doors from the hall into the lounge continue the grand feel and the theme continues through to the first floor where the gallerized landing around the stairwell serves all rooms without distracting from the accommodation space. Using attic trusses to the roof space has provided further recreational space.

Ground Floor



First Floor



Frontage: 12.82 metres (42ft 1ins)

**Radford**





# Rogiet



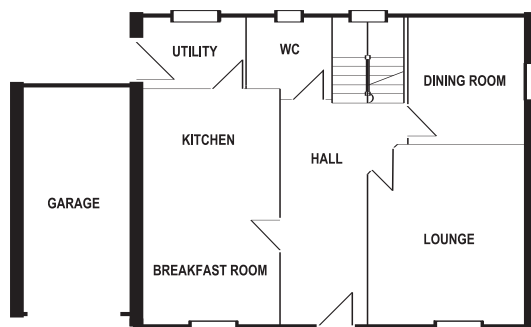
**This property is one of a pair built on very small plots with limited aspects from the windows. Habitable windows had to be placed to the front and right hand side in both cases due to the potential overlooking onto adjoining properties. The first dwelling, to the rear of this, was slightly smaller although of an identical style, but it was able to be 'scaled up' without loss of overall character.**

The area demanded a cottage style of property and the final design is common to rural properties in the area. Render finish, windows with a vertical emphasis in a symmetrical

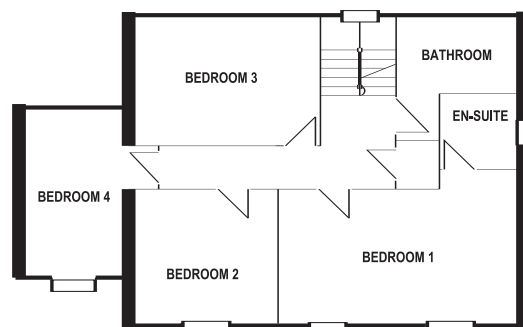
pattern with the front door at the centre and gable roofs over the first floor windows, were all features of this style. Using the proportions of these properties didn't provide the required 4 bedroom accommodation but the inclusion of a room over the garage solved this problem.

The limitation on aspect didn't greatly affect room sizes but had more of an influence on layout. Placing the utility and stairs to the rear solved the problem on the ground floor and the use of rooflights to bedroom 3 removed the overlooking issue.

Ground Floor



First Floor



Frontage: 13.00 metres (42ft 8ins)

**Rogiet**





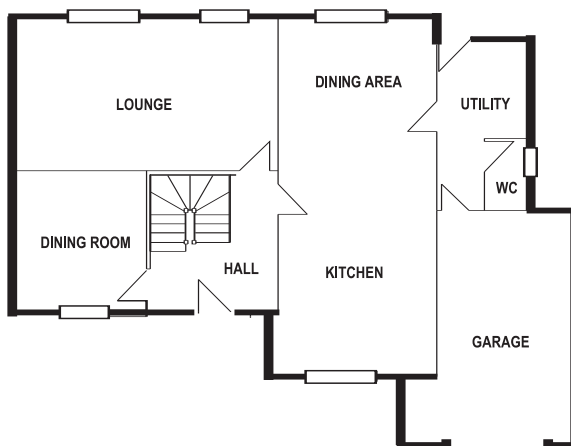
# Raglan



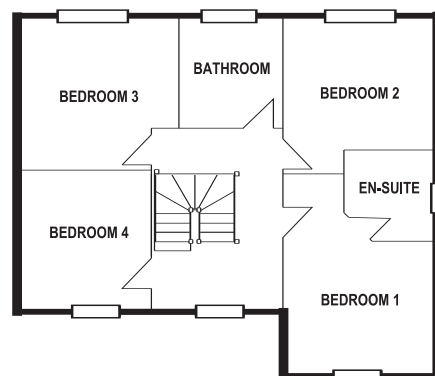
Cottage style properties tend to be very simple in their finishes - render on the walls, painted to suit the style of the area and casement windows with small glazed areas. The roof is often a strong feature with short overhangs and quite low so that the slope is showing inside the building. They would have been extended over their life so tended to be a mixture of 'add-ons' perhaps at a lower level. This can easily be achieved on a new property as illustrated here.

This example shows how the developer has used colour very effectively on the external finishes, not expensive, but well chosen. The property is deceiving because behind the apparently small exterior is a deceptively big interior. It provides a large farmhouse style kitchen/diner, which is a through-room to take in both aspects of the plot, while the lounge across the rear allows full enjoyment of the garden.

Ground Floor



First Floor



Frontage: 14.05 metres (46ft 2ins)

**Raglan**





# Exeter



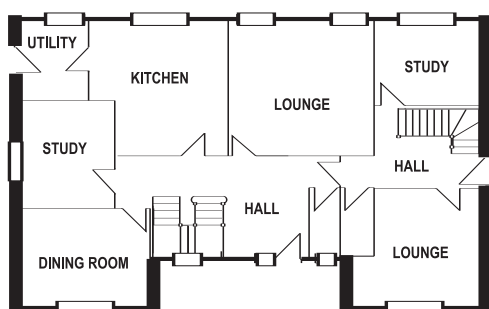
**The requirement for this property was to achieve a building which would provide a home combined with a self-contained area which could be used as an office or granny flat, each preferably independent yet within an envelope that gave the impression of being a single dwelling. The site has a wide frontage yet shallow depth so advantage had to be taken of all aspects.**

The use of a double projection on the front broke up what is potentially a wide, flat elevation. It gave the development symmetry

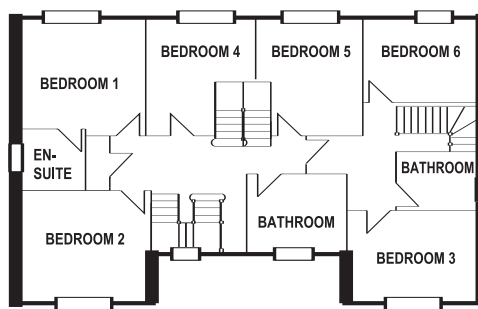
and allowed one of the projections to be used as an office with its access away from the private front door. The front door, placed in the centre recess with a tall feature window adjoining, gives a feeling of importance and grandeur.

The hallway is spacious and efficient. The main stairs rises in front of the feature window to the gallerized landing and affords a view back through the window. Bedroom sizes are good and there is potential to convert the roof space to accommodation with access from an additional staircase.

Ground Floor



First Floor



Frontage: 15.30 metres (50ft 2ins)

**Exeter**





# Hawthorn

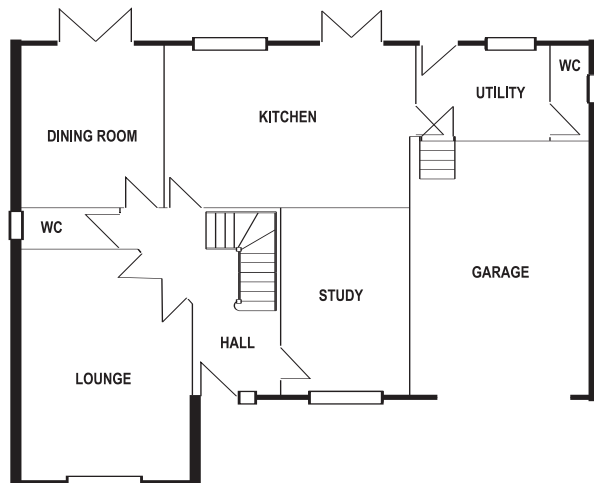


**A site with a cross-fall to the front elevation presents some interesting problems, as there is often a tendency to want elevations on one level. The fall can be used to prevent expensive engineering work and unsightly retaining walls. The garage, placed below the main entrance level, gives an interesting frontage while, on a positive side, gives extra height within the garage and additional high level storage.**

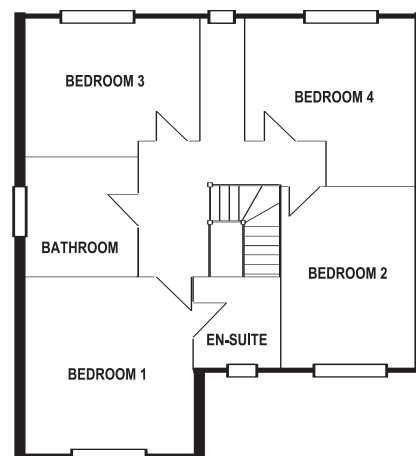
Aesthetically, the steep front gable in this elevated position gives a feeling of height and importance, while the use of a plinth around the base makes the building feel as if it is on solid foundations.

The utility at the back of the garage is at the same level as the main accommodation due to the ground level at the rear. The house is economic to build as it is quite compact and suitable for a narrower fronted plot.

Ground Floor



First Floor



Frontage: 18.55 metres (46ft 6ins)

# Hawthorn





# Mayfield

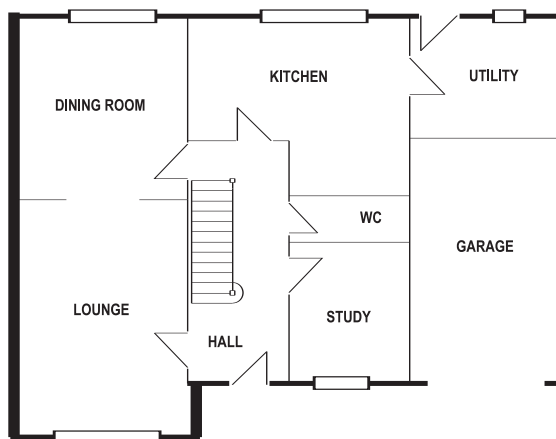


**Ideal for an urban location where building plots are often limited in frontages. An economic and straightforward house to build, with options of a 3 or 4 bedroom variation. In this case, a 3-bedroom dwelling has been illustrated although a fourth bedroom could be located in the space occupied by the en-suite. This facility could be reduced in size and re-located between bedroom 1 and the new bedroom 4.**

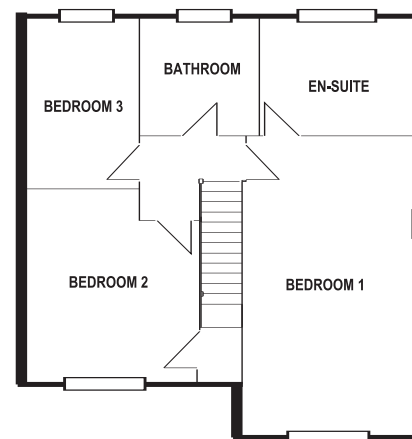
The front gable gives the opportunity of adding character and can be finished in a variety of materials to give a contrast and strong feature to the initial impact. Although the garage is substantial in this illustration, it can be varied to suit, yet still retain the link across the entrance porch.

The ground floor layout is efficient while allowing the relationship of lounge and dining room to be varied, depending on site conditions. If the views and sunlight are predominantly to the rear, then the lounge can be positioned next to the kitchen with the dining room at the front.

Ground Floor



First Floor



Frontage: 8.95 metres (29ft 4ins)

# Mayfield





# donnybrook

## Newport



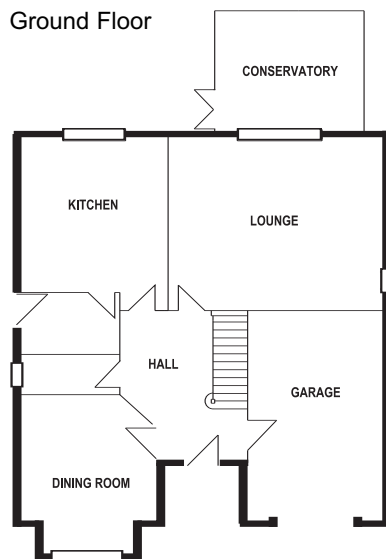
**This property best demonstrates one of the great advantages of timber in its ability to cantilever without much technical difficulty. This allows space to be maximised on the upper levels where the plot size is limited.**

The front is very busy and detailed, starting with a plinth around the base to give the feel of a solid foundation, the bay windows sits nicely below the overhanging first floor and the front door set back in the centre recess to provide shelter to the entrance.

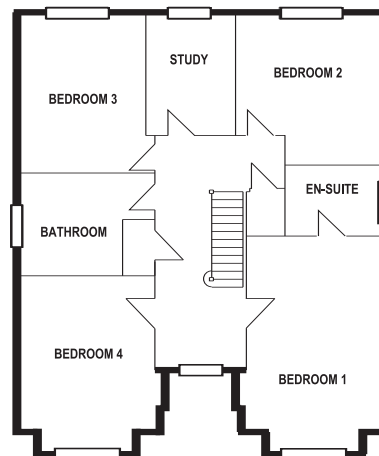
There is enough room to incorporate the garage within the footprint of the building. The roof overhang to both gables continues the theme and provides a roof for the bay windows.

The hall is simple and effective giving access to all principal rooms. The first floor gains significantly from the overhangs and provides 5 bedrooms, en-suite and generous main bathroom, while leaving enough space for a generous landing, lit by a window at the front which also provides a view.

Ground Floor



First Floor



Frontage: 10.70 metres (35ft 2ins)

# Newport





# Warwick

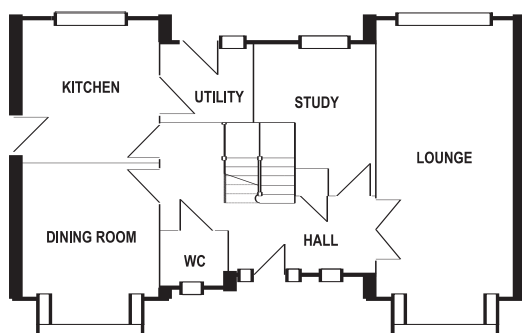


**The location for this property had no particular local style so it left the client a free hand when selecting a design. The site would take a variety of shapes so the starting point was a combination of budget to determine size and layout to suit their lifestyle requirement.**

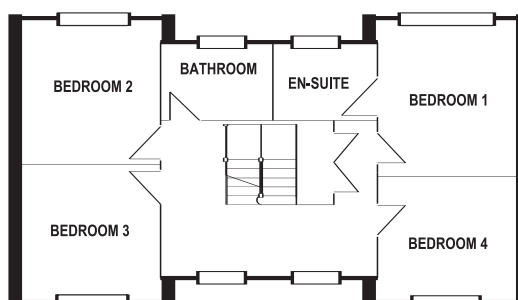
The symmetrical layout with the front door at the centre and a simple arrangement of rooms proved effective and produced an impressive hallway and landing. The use of two gables at the front gives the impression of a substantial property and provides a balanced elevation.

The lounge spans back to front giving the benefit of views and light from both aspects, while the double door access always give importance to a room. The kitchen and dining rooms are adjoining, which is always a good combination and at the other side of the dwelling. The utility and study nicely fill up the remaining space behind the stair. All 4 bedrooms are of generous proportions accessed off a spacious landing.

Ground Floor



First Floor



Frontage: 13.10 metres (43ft)

**Warwick**





# Welshpool



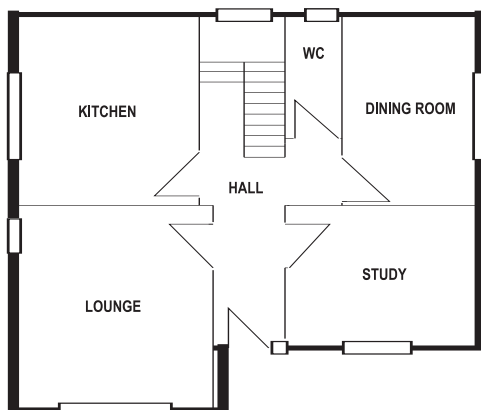
**The site sits in a sloping wooded area and what better property to locate there than one with a large roof and a lot of timber cladding to blend in and contribute to the landscape.**

The steep front balcony provides a viewing area from the master bedroom which is sheltered on all sides by the roof overhang. The main feature is this frontage projection which towers above as you approach the building and provides shelter to the front entrance.

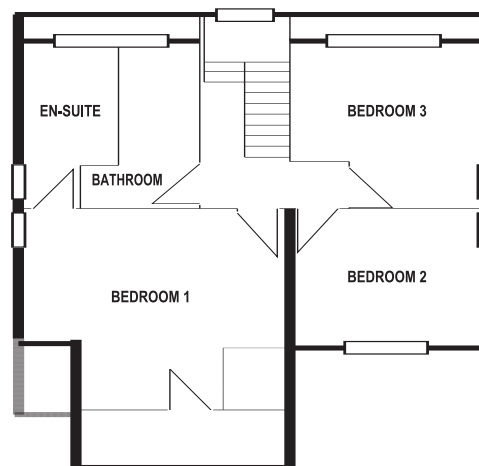
a relaxing seating area affording panoramic views from this elevated position. Rooms are of generous proportions, which one would expect from a property of this grandeur. The use of bay windows add features to the rooms while improving the view and breaking up large otherwise plain side elevations.

This property oozes opulence, yet isn't complicated to build. The use of a brick plinth gives the impression of a solid base especially when combined with stonework detailing around the windows and corners. These details could be used on smaller properties as a grand effect is not always about the size but more to do with the detailing of the building.

Ground Floor



First Floor



Frontage: 10.10 metres (33ft 2ins)

**Welshpool**





# Richmond



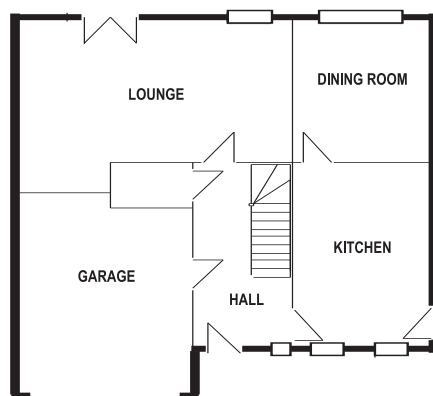
**A large family home that takes advantage of a sloping site to create extra floor space below and in the roof to achieve yet more accommodation.**

The front appears to start as a symmetrical design but the integrated garage, whose roof continues over to form an entrance porch, does away with that. However, it does blend well into the overall look of the building.

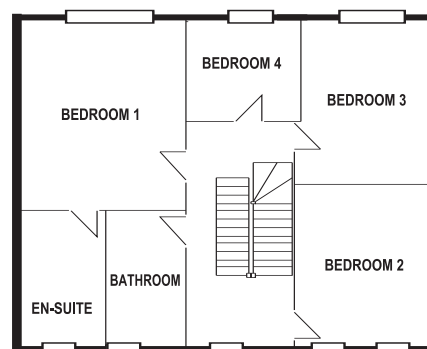
There are plenty of attractive features to the front, namely the arched window with gable over; 2 dormers symmetrically placed in the roof; the tall windows used in pairs and the quoin stones to the corners.

The loss of accommodation to the ground floor by the integration of the garage is not a problem as this space is spread out into the spacious lower ground floor. The first floor comfortably achieves 4 bedrooms and a bathroom with a further 2 bedrooms and bathroom located in the loft space. This building is a very economical use of the space which is normally limited on this type of site.

Ground Floor

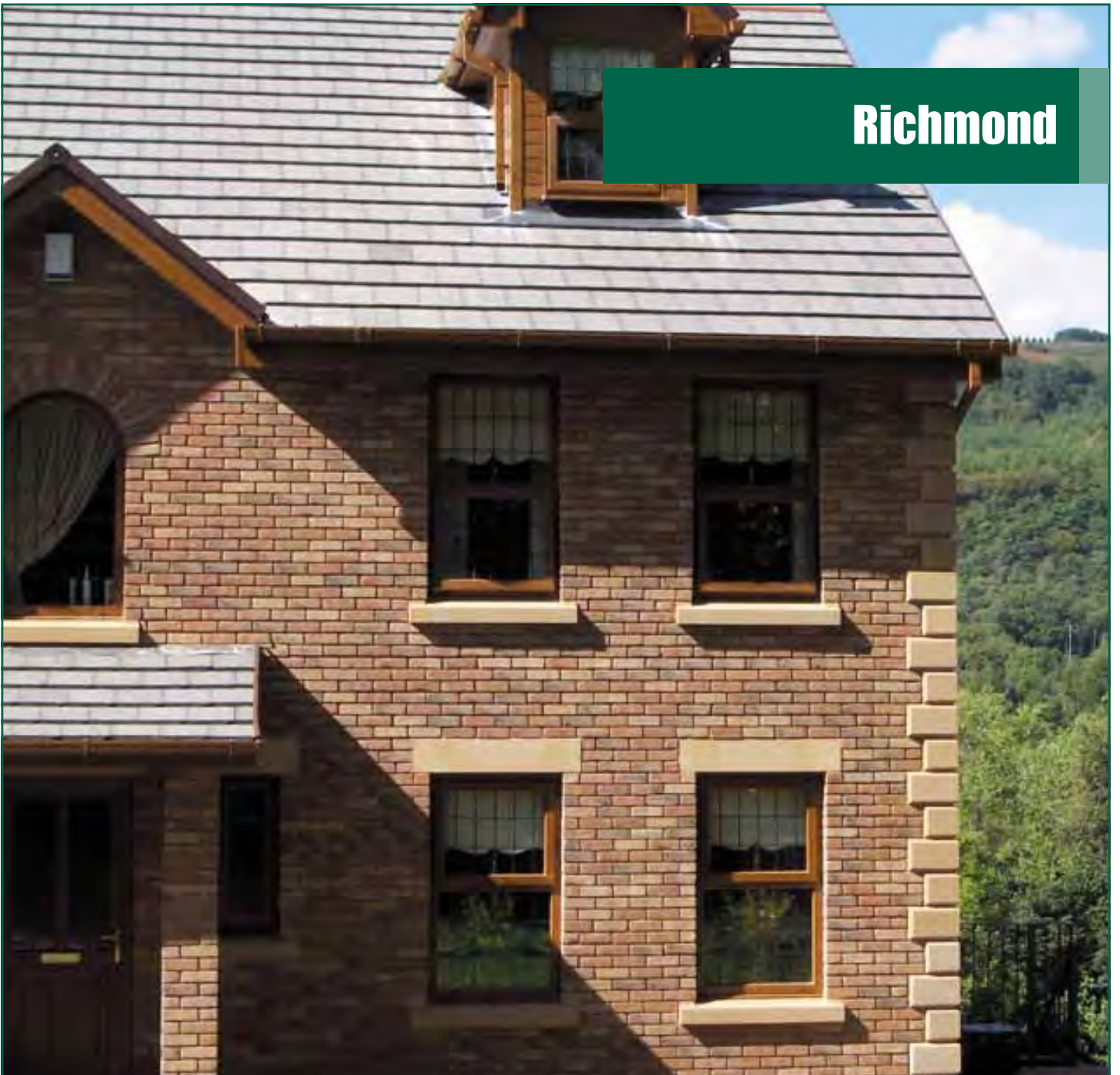


First Floor



Frontage: 12.00 metres (39ft 4ins)

# Richmond





# Thames



**This is a deceptively large property with a good mixture of colours between the stone and brickwork. A symmetrical design with a dominant front gable gives a feeling of importance to the entrance. The 12 metre wide frontage manages to achieve 6 bedrooms as well as a large through lounge, kitchen, study, bathrooms and more!**

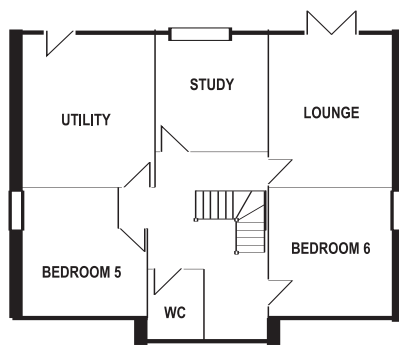
The sloping site allows the opportunity to provide additional accommodation to the surplus area below the entrance level.

The general arrangement of the layout is repeated on the upper floors which makes this a structurally efficient and economic building to construct.

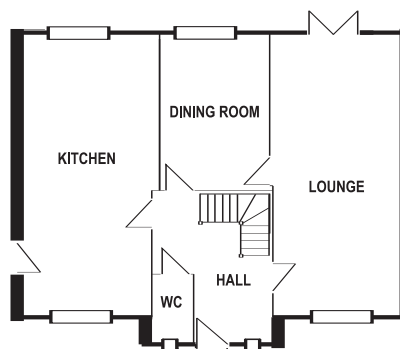
The staircase is located toward the centre of the building and by locating each stair over the one below it becomes an interesting central feature while providing good circulation to the rooms.

The theme is continued up into the roof which also has the benefit of further accommodation.

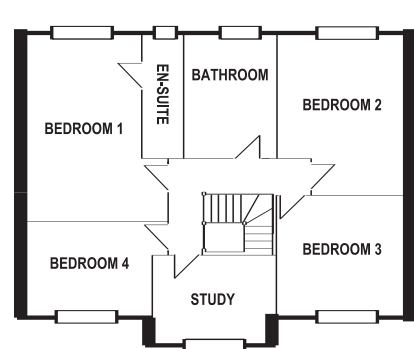
Ground Floor



First Floor



Second Floor



Frontage: 12.00 metres (39ft 8ins)

**Thames**





# Chelsea

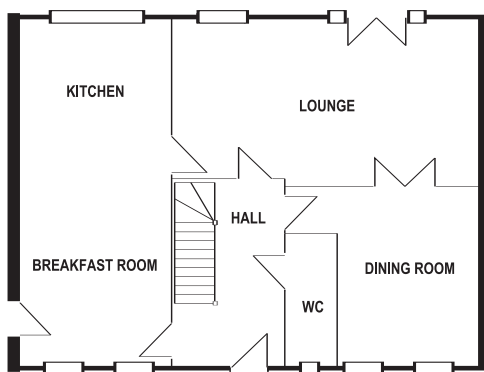


**A steeply sloping site can result in a lot of expense to achieve a plateau to construct a building. Rather than leave this void below the building, it can be used to provide additional accommodation for relatively little additional cost as the structure is in place.**

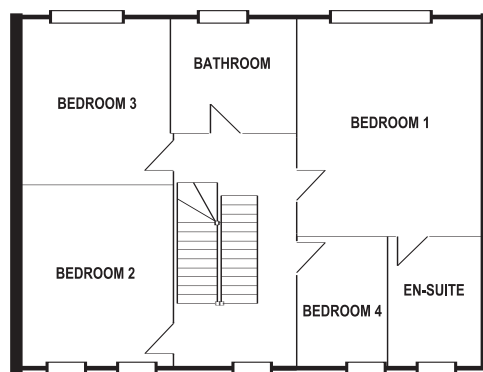
This may look like a 2 storey house but it has an additional floor below increasing the area by 50% making it a substantial property. The layout can easily be modified by moving windows to the side elevations away from the retaining wall at the front.

The juxtaposition of the garage to the building gives a courtyard effect and makes this feel the important and elegant building it is. Once inside the elevated open aspect of the rear is utilised to the full with a large lounge, kitchen and master bedroom located here, bathrooms, stairwell and minor bedrooms face the more enclosed front.

Ground Floor



First Floor



Frontage: 22.83 metres (75ft)

**Chelsea**





# Canterbury

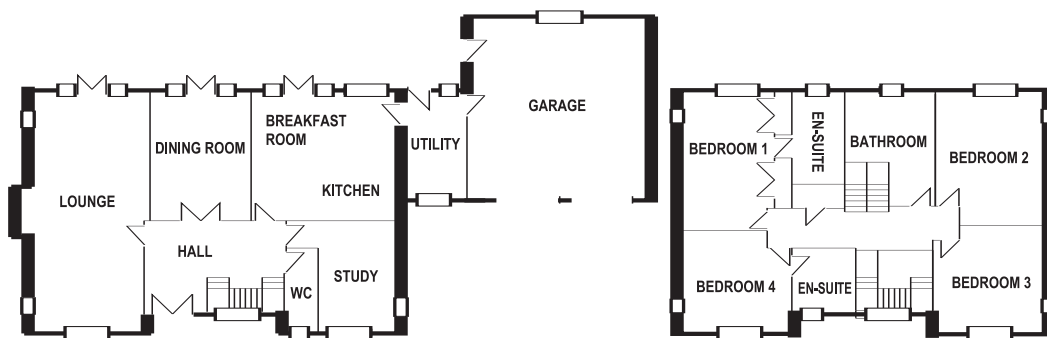


**The generous corner plot allowed the opportunity for a substantial property where frontage was no hindrance to the design. The large 'Tudor Style' property doesn't fail to impress.**

There are some strong yet traditional features, including the Ingle-nook fire place which results in a substantial feature chimney. At the approach to the front door the tall screen window under the cantilever roof gives a feeling of height and mass. This feeling continues into the hall which has a gallerized landing lit by the screen.

All rooms are spacious with 4 double bedrooms to the first floor. An added bonus from this size of dwelling is the size of the roof space which in this instance was used to provide 2 additional bedrooms.

These buildings, although large are relatively economic to build as the shape is straightforward and not overworked. The roof is a rectangle and although large on area, is not complicated in its construction.

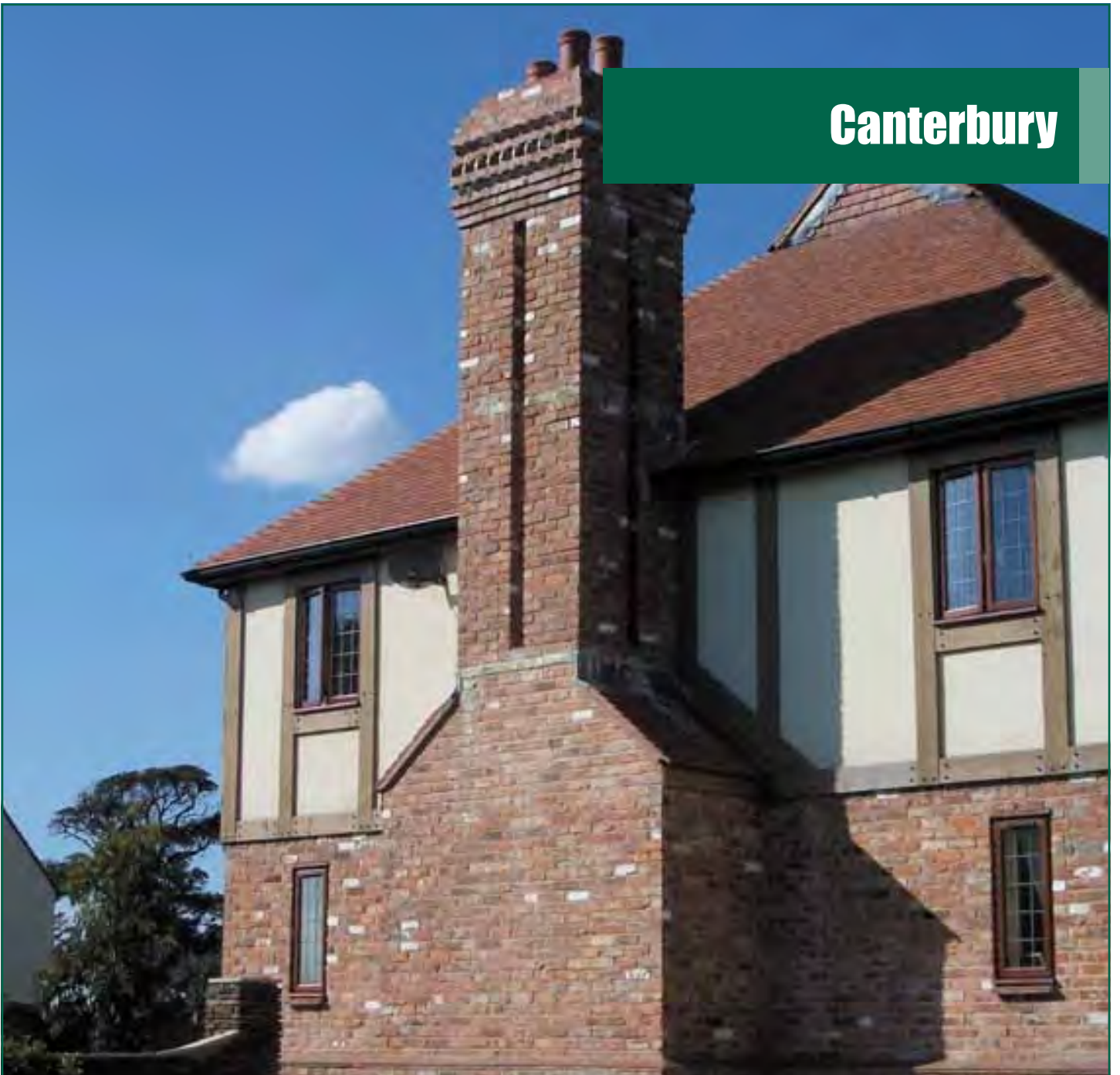


Ground Floor

First Floor

Frontage: 15.40 metres (50ft 6ins)

# Canterbury





# Swansea

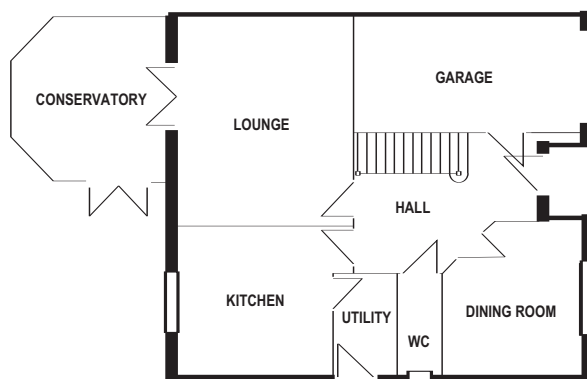


**This property is ideal for a site where frontage is restricted and the garage has to be incorporated within the main body of the house. The hip roof gives a low feel to the building but also makes construction and future maintenance easier.**

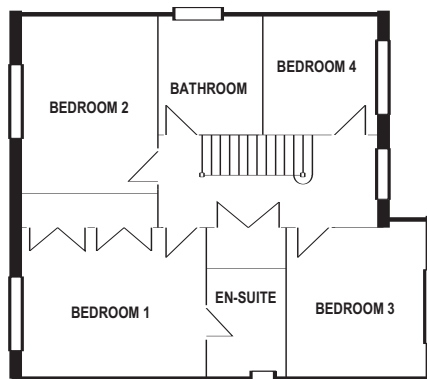
The hallway opens up as you get to the middle of the property which eases circulation and manages to avoid the building feeling claustrophobic. The building still achieves a good size lounge and kitchen which are usually the main components. By utilising the space over the garage 4 bedrooms are achieved together with a spacious bathroom.

The master bedroom has the benefit of built in wardrobes and en-suite. The landing is a generous size considering the limited building width and is lit by the inclusion of a window at the front.

Ground Floor



First Floor



Frontage: 9.55 metres (31ft 4ins)

Swansea





# Jersey



**A nice example of a simple yet attractive rural property with plenty of character. The external finishes have been chosen to give an old and traditional feel.**

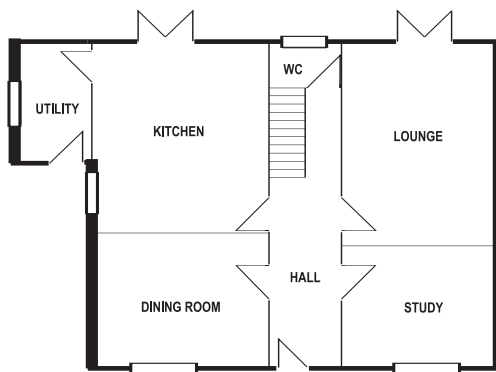
The simple plain roof tile is edged with decorative ridge units in a contrasting colour while the fascias are in stained timber with a decorative bargeboard over the first floor windows. Many rural properties had a symmetrical frontage with a centre entrance porch often in timber.

The detailing follows the theme right down to the re-claimed brick to give an aged feel.

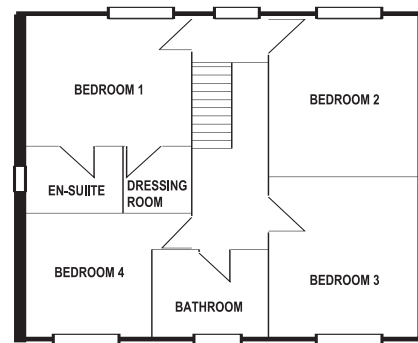
The symmetry of the elevation is continued into the ground floor layout which makes this a straightforward building to construct. The utility room off the kitchen provides a secondary exit for day to day use as well as providing an interesting annexe.

The first floor achieves 4 bedrooms which are more to modern expectations in their size, along with a bathrooms, dressing room and en-suite. This layout would lend itself to further extension into the loft space if required.

Ground Floor



First Floor



Frontage: 13.65 metres (44ft 9ins)

**Jersey**





# donnybrook

## Gower

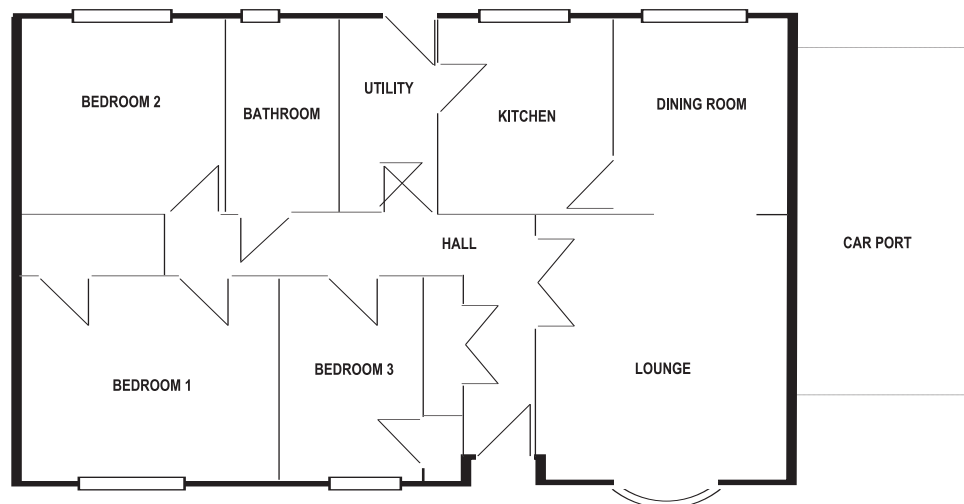


**Not everyone wants a mansion and there is sometimes the need for a straight forward, no frills property that is economic to build and functions well. This bungalow achieves that. It is simple, yet with the right choice of materials can look clean and attractive.**

The front door is recessed to provide a weather shelter to the front door. The provision of a 'bow' window on the front breaks up the elevation, adds

a feature of interest not just externally, but to be enjoyed from within the room.

The layout provides a generous lounge which leads through an archway to the dining room, which in turn leads to the kitchen. The 'public' areas, i.e. lounge, kitchen, dining room are located to one side of the property while the 'private' area, i.e. bedrooms are located away from the main entrance.



Frontage: 14.23 metres (46ft 9ins)

**Gower**





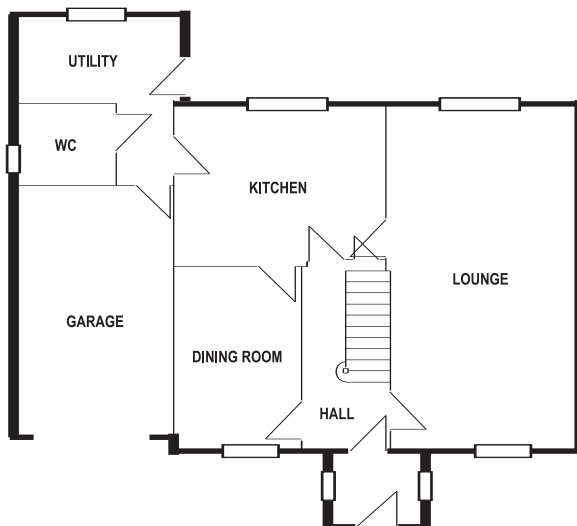
# Brecon



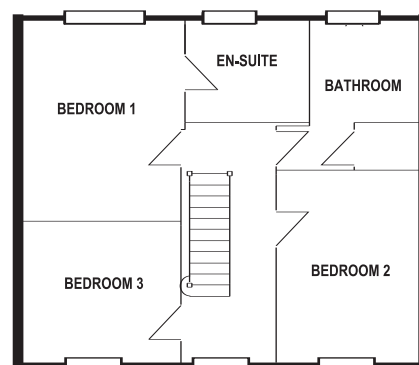
**One of my favourite properties as it has charm in its' simplicity! It was designed for a rural location near an ancient church and was required to have a design sympathetic to its surroundings. The site had to be investigated by an Archaeologist before work commenced as records indicated potential historic artifacts to exist in the ground.**

The dwelling is typical of a welsh farmhouse with a central front porch, symmetrical front elevation. Windows were never excessive in size as the historical intention was to conserve heat while allowing

light into the rooms. They were built from the materials to hand. Originally the walls were random stonework but over time they would allow ingress of water and were painted or rendered to improve the weathering qualities. Fascias and roof overhang kept to a minimum again for weathering purposes. A very economic house to build yet a good choice and balance of colours gives an eye-catching appeal. This property illustrates how simple, good proportions do not necessarily mean a boring building. The porch, if treated with a different material to the main building provides adequate contrast.



Ground Floor



First Floor

Frontage: 12.50 metres (41ft)

**Brecon**





# Chepstow

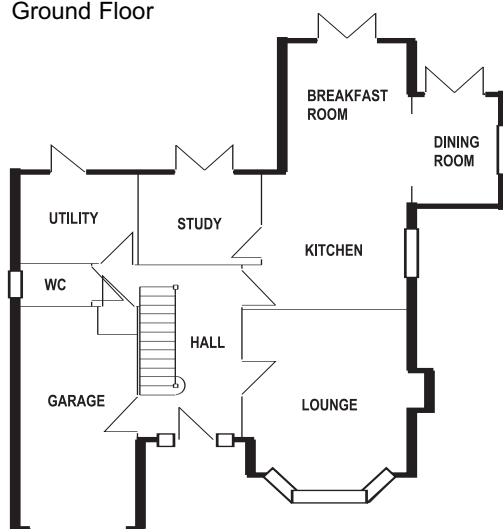


**This was an infill plot where adjoining properties were predominantly of the same distinctive style and this house had to reflect that, not just as shape but in terms of materials as well.**

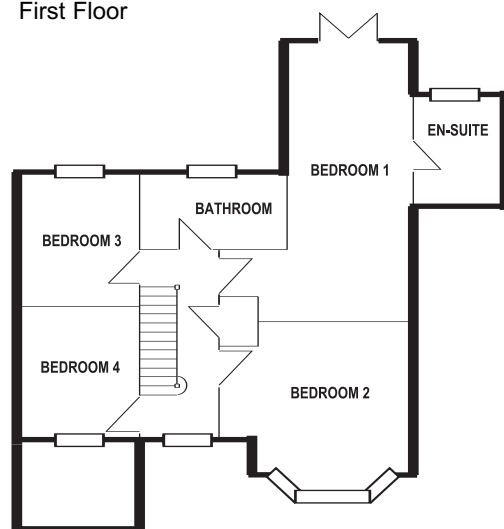
The plot increased in width toward the middle so whereas the frontage was limited, benefit could be gained by the provision of side and rear extensions. This also gives the building a more authentic feel as a lot of older properties would have been extended over the years.

The lounge is very traditional located at the front of the property with a bay window rising through to the first floor. The side annexe provides the extra space of the dining room on the ground floor and en-suite to the first floor. In this case the roof is accessed via an additional stair located over the main stair and provides an additional room to be used as a bedroom or study.

Ground Floor



First Floor



Frontage: 12.50 metres (41ft)

# Chepstow





# Hereford



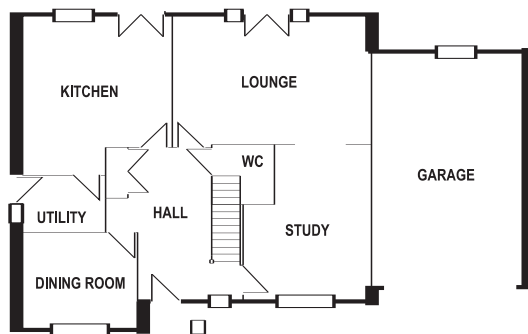
**This site on the England / Wales border, has panoramic views to the rear and is set within a lane dominated by dormer bungalow properties. The front had to have an attractive elevation in keeping with the rural area, while the rear had to take advantage of the south and westerly aspects and open countryside.**

The small plain roof tile is historically found in this rural area where the roof and its' associated detailing is a dominant feature. This has been utilised with a modern approach in terms of materials yet still

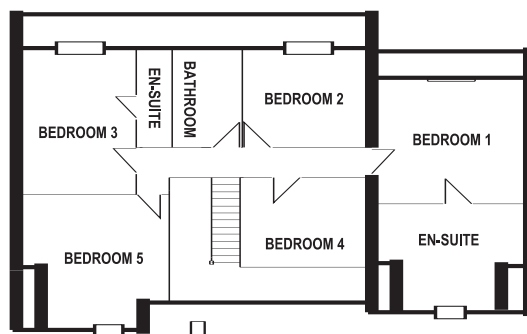
has plenty of charm and character. This is certainly illustrated by the rear conservatory and decked recreational area for al fresco dining.

The layout places the kitchen and lounge at the rear to take advantage of the stunning aspect, while the study and dining room are at the front. The roof is still capable of providing 5 decent bedrooms, the master bedroom being located above the garage with en-suite. The sloping ceilings and dormer windows give an old world rustic charm to the bedrooms.

Ground Floor



First Floor



Frontage: 16.45 metres (54ft)

# Hereford





# donnybrook

## Cornwall

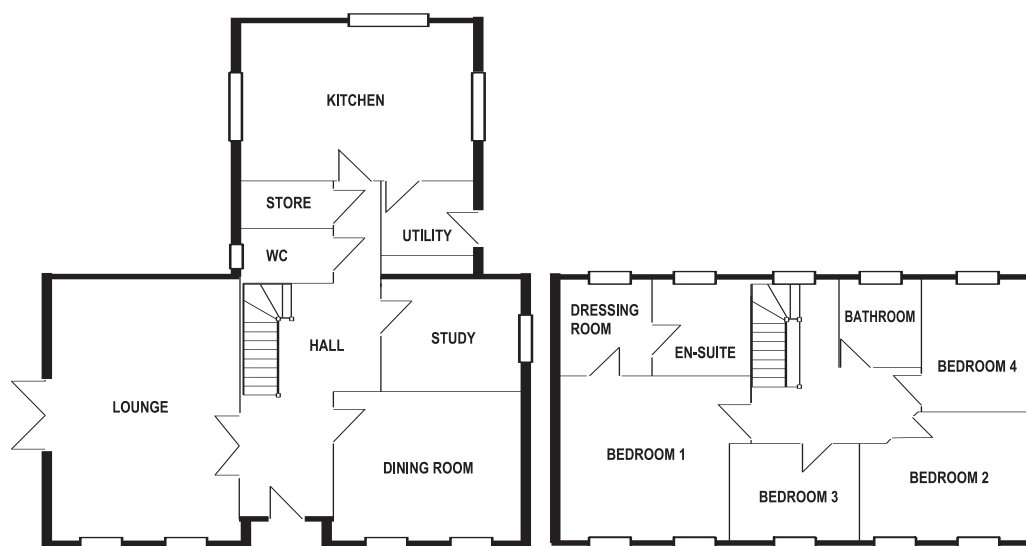


**Classical good looks are not always about complicated design as is perfectly illustrated by this property. There was no specific restriction to this site so the client had a free hand to select a design of their choice.**

The front is completely symmetrical about the front door with the proportions of the windows completely consistent with this style. The quality is provided by the good

choice of stonework and material colour giving the property a timeless elegance.

The layout is economic to build as it is essentially two rectangles. The front elevation to an extent, dictates the internal layout as it needs to follow the window pattern. Nonetheless, a good efficient circulation pattern ensues to generous size rooms. This layout lends itself to scaling up to a larger property if required.



Ground Floor

First Floor

Frontage: 12.40 metres (40ft 8ins)

**Cornwall**





# donnybrook

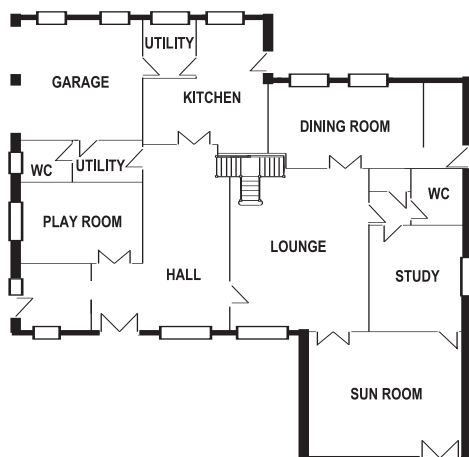
## Snowdon



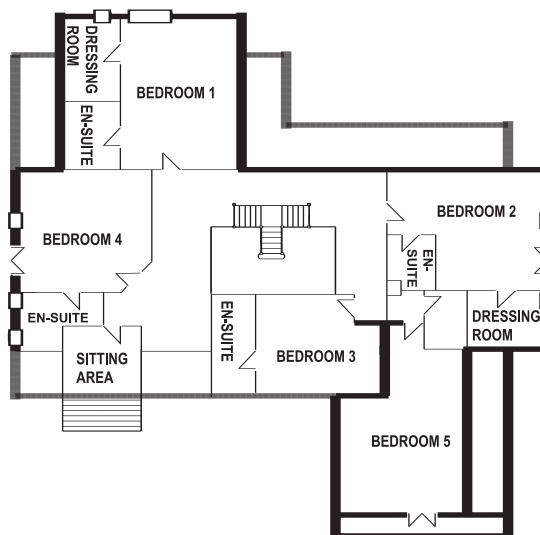
**A hilltop location is often synonymous with panoramic views but in addition, it comes with an exposed aspect. On the one hand the designer wants to take advantage of the views with large glazed areas, but on the other it is not often wise to build flat vertical facades that challenge the forces of nature. A low roof with generous overhangs serves 2 purposes - it provides shelter against the elements while allowing the building to blend into the landscape.**

This building meets all the criteria above while providing a substantial family home. At the core is a large open plan area rising through the building to the roof surface and off this central area are rooms which, between them, have a view in all directions. Balconies are used on the first floor sheltered within the roof overhang for added protection.

Ground Floor



First Floor



Frontage: 25.30 metres (83ft 1in)

# Snowdon





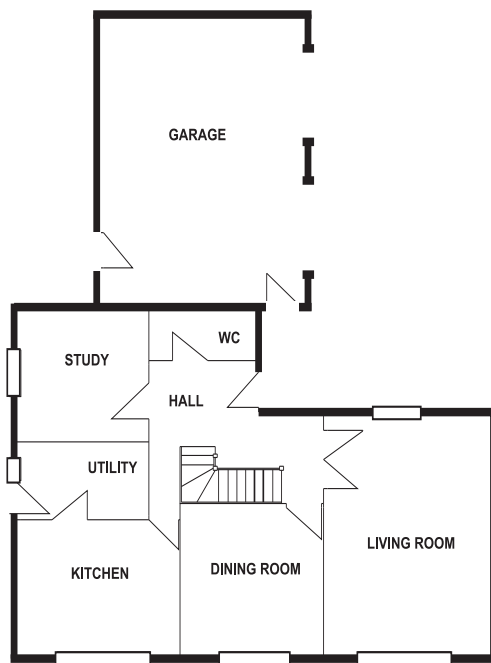
# Radnor



**This was one of my earlier projects in a rural location but on an exposed hillside. The use of an 'L' shaped property with the main entrance and garages forming a courtyard provides a sheltered entrance area. The ample rear garden, south west facing, is an ideal location for the conservatory. Kitchen, Lounge and Dining room take advantage of this aspect.**

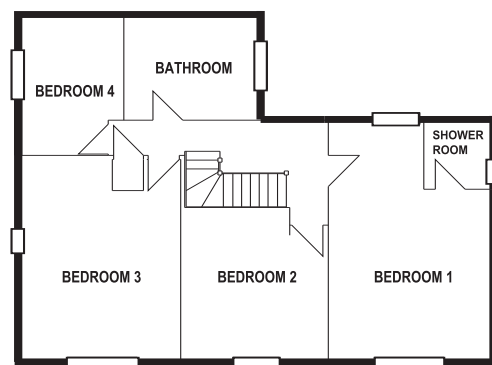
The use of casement windows with gables over is typical of a rural approach and suits this location beautifully. The garage is accessible from under the covered area at the front door for added weather protection.

The layout works well providing maximum space to the rooms from which the best feature, the view can be enjoyed. The through-lounge with bedroom above gains the benefit of different aspects and sunlight at either ends of the day.



Ground Floor

First Floor



Frontage: 12.85 metres (41ft 7ins)

**Radnor**





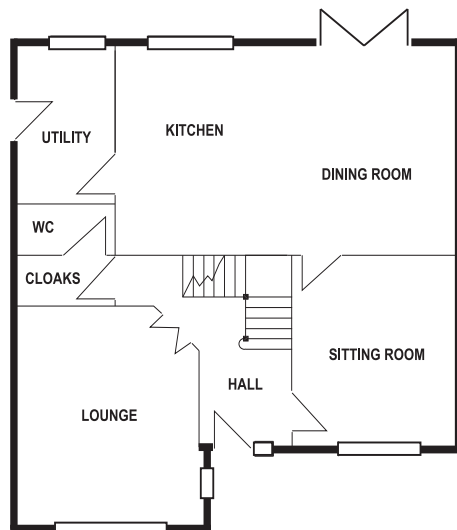
# donnybrook Glamorgan



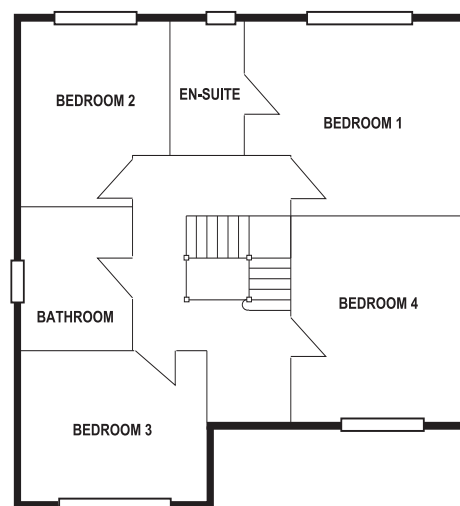
The developer wanted a house with a strong feature at the front and that feature was to be the roof. The small plain tiles give a lot of character to a roof and are particularly useful for roofs that have dormer windows rising out of them as the same tile is ideal for vertical cladding. The roof in this instance is brought down to form a covered canopy over the front door which allows a great opportunity for dressing around the entrance with plants. This adds to the attraction and importance of the entrance.

This is a deceivingly large house inside with a particularly attractive feature of the gallery landing. The inner hall is opened up by the use of a splayed wall at the entrance to the lounge and this allows the opportunity to make a real feature of the stair and balcony above. The layout allows interchange of room usage for different site locations for this design.

Ground Floor



First Floor



Frontage: 9.85 metres (32ft 4ins)

# Glamorgan



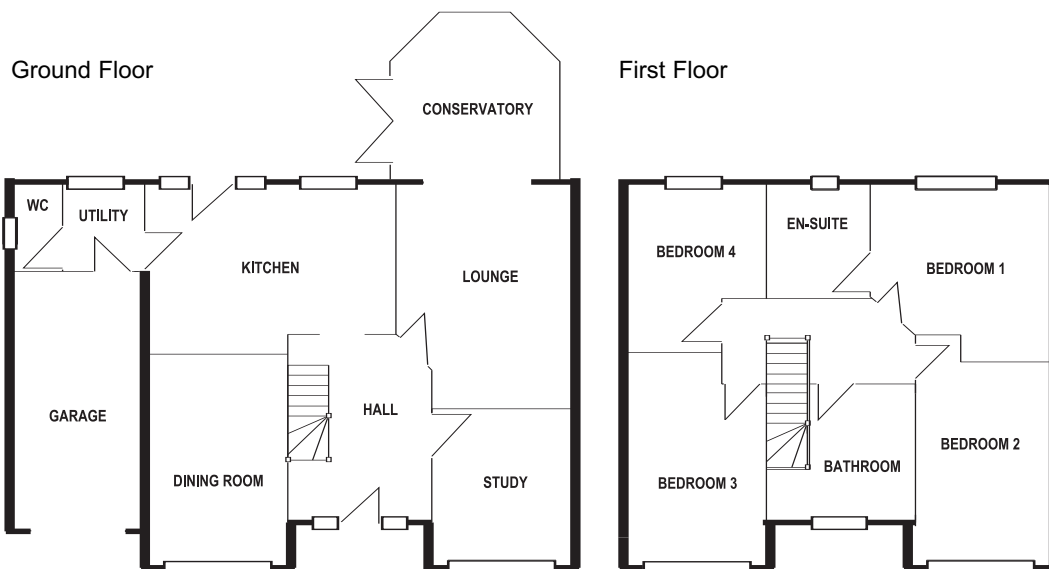


# donnybrook Carmarthen



The client had a limited budget, needed a family home, but wanted it to have an attractive frontage. The plot was fairly limited on width but was able to cope with the size required. The house is a good example of an attractive external facade, which is not over-worked. A simple band of contrasting bricks breaks up the front and gives a variety of details. The use of a 'bow' window removes the need for special bricks and foundations that are necessary for a 'bay' window.

The symmetrical design with central front door position allows a simple yet efficient layout internally. A main room located to each corner with bathroom and en-suite placed centrally. No wasted space and efficient circulation pattern make this good value for money with attractive 'kerb appeal'.



Frontage: 12.85 metres (42ft 2ins)

# Carmarthen





# Ludlow



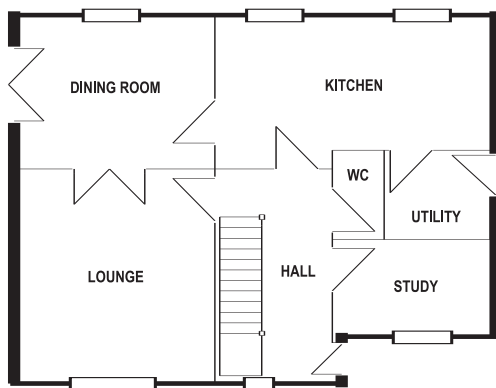
**Sometimes the look of the building takes precedence over the size and that was certainly the case here. The site was capable of a larger property but the budget was limited and a particular style of house, roof tile, brick etc was required. In essence, the concept was decided first and the scale fitted to the size of the funds available.**

The result was a Dormer style property, which always suits the small tiles used to clad the roof. The dormer windows rising

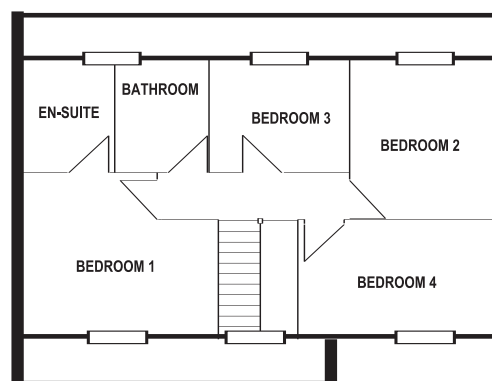
from the roof gives a cottage feel to the property and the theme is continued on the ground floor with the window style and plinth capped with creasing tiles.

The dwelling still manages to provide 4 bedrooms although, it must always be remembered with a Dormer Bungalow, that the slope of the roof does restrict the available space to the inside. Conversely, the sloping ceilings do give a lot of character to the rooms.

Ground Floor



First Floor



Frontage: 10.55 metres (34ft 8ins)

**Ludlow**

